

17th January 2024

Lewes Planning Applications Committee

1. Oakdene, Hazeldene Lane, North Chailey
2. Slugwash Gardens, Slugwash Lane, Wivelsfield
3. 104 Allington Road, Newick

Item No.
LW/23/0575

Oakdene, Hazeldene Lane, North
Chailey

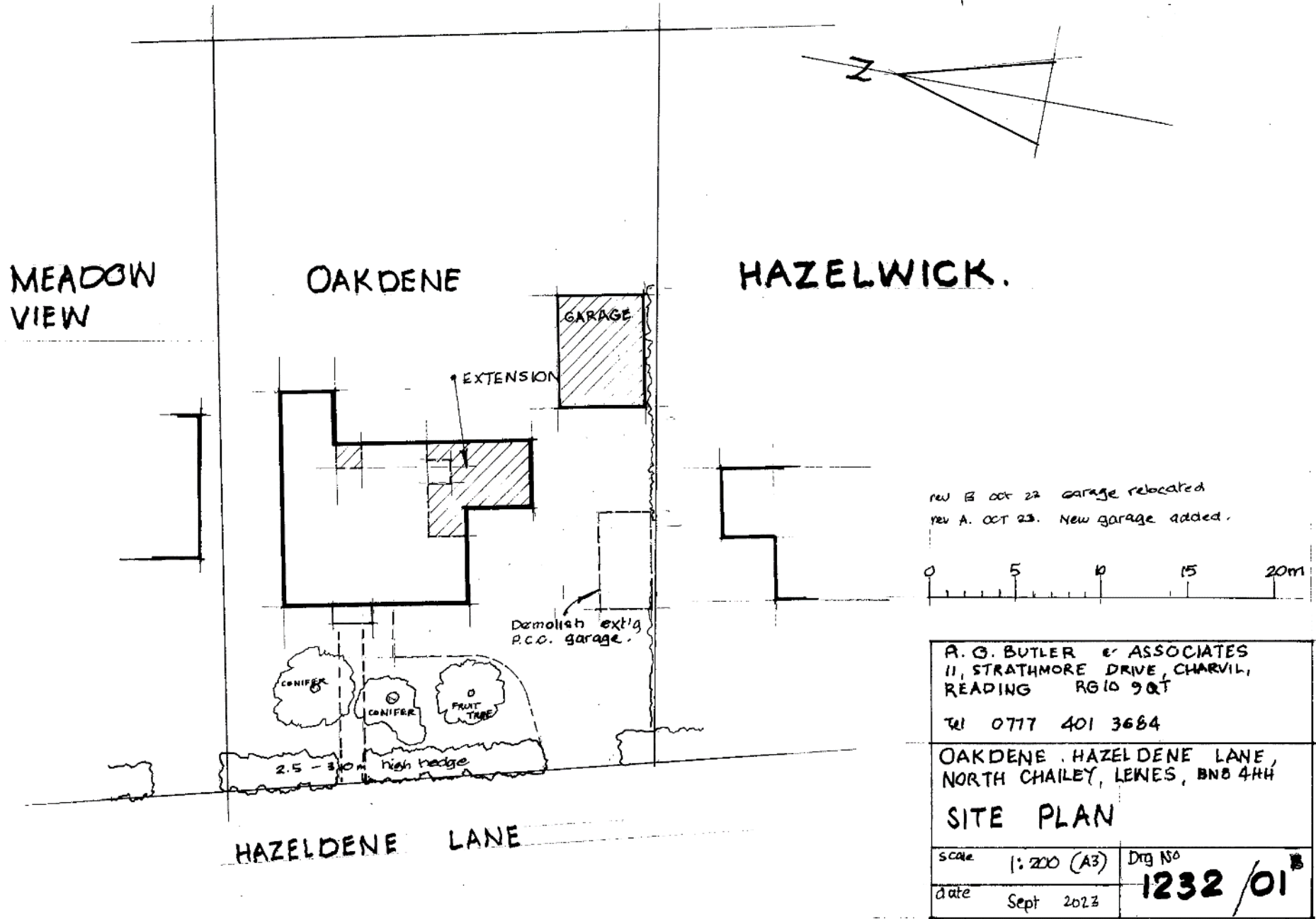
Aerial View of Site



Zoomed in Aerial View – Note Roof Extensions at Neighbouring Properties



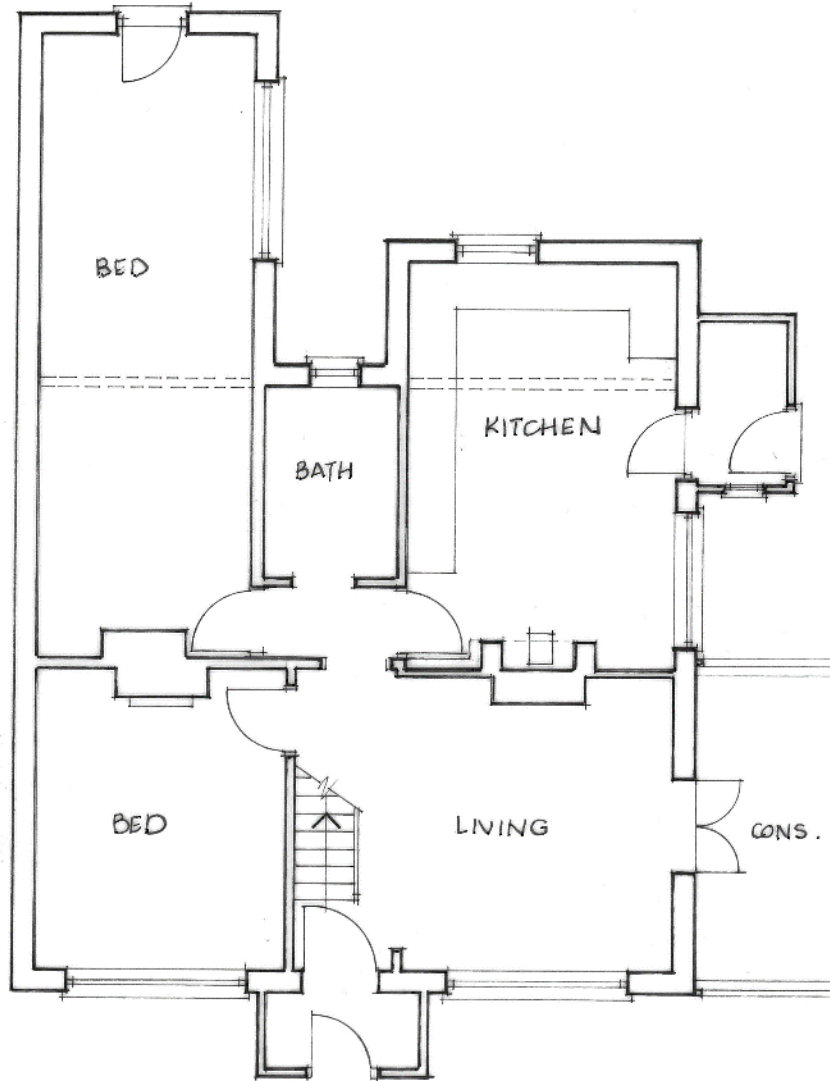
Proposed Site Plan



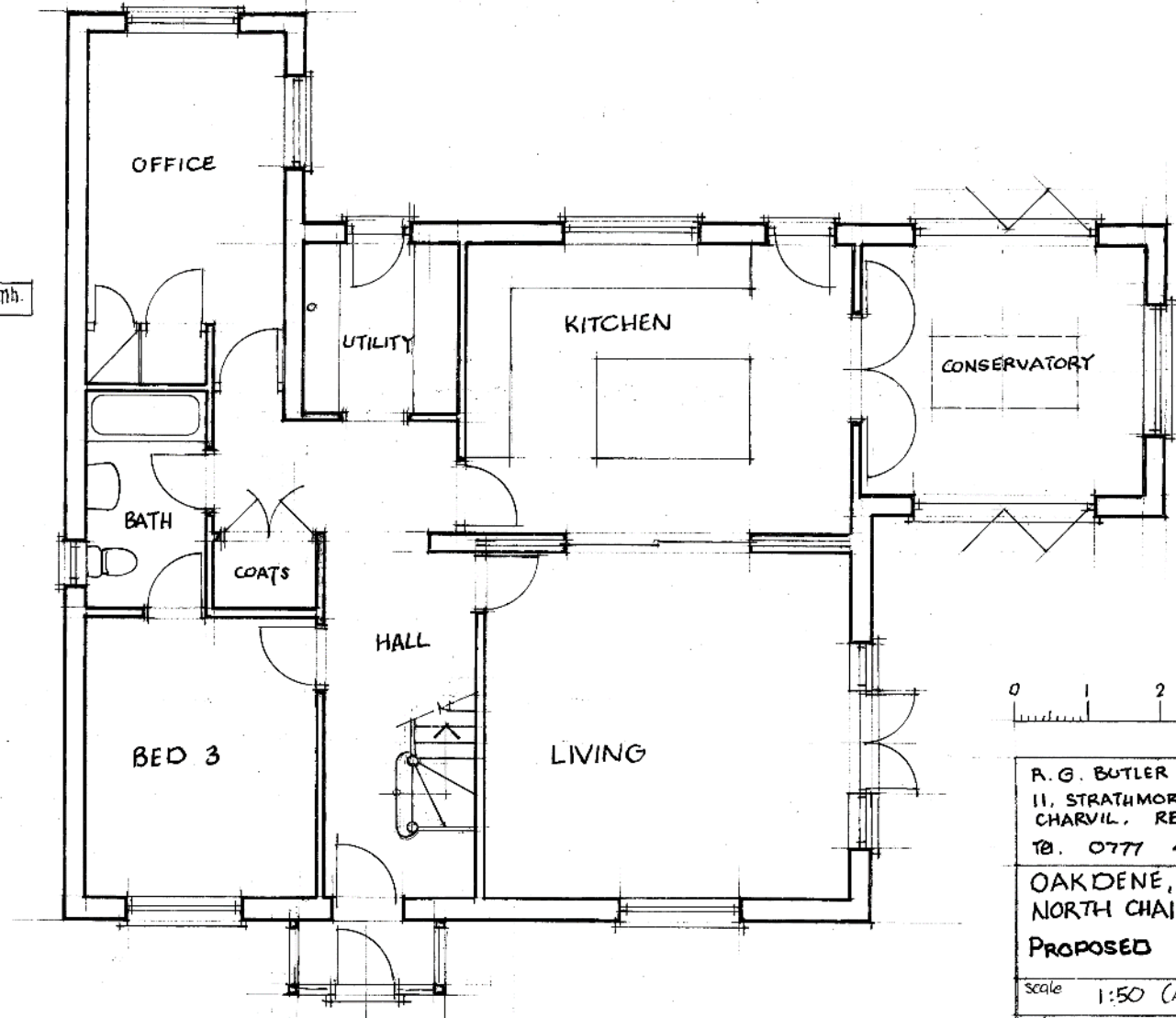
Existing and Proposed Ground Floor Plan

mb.

Page 6

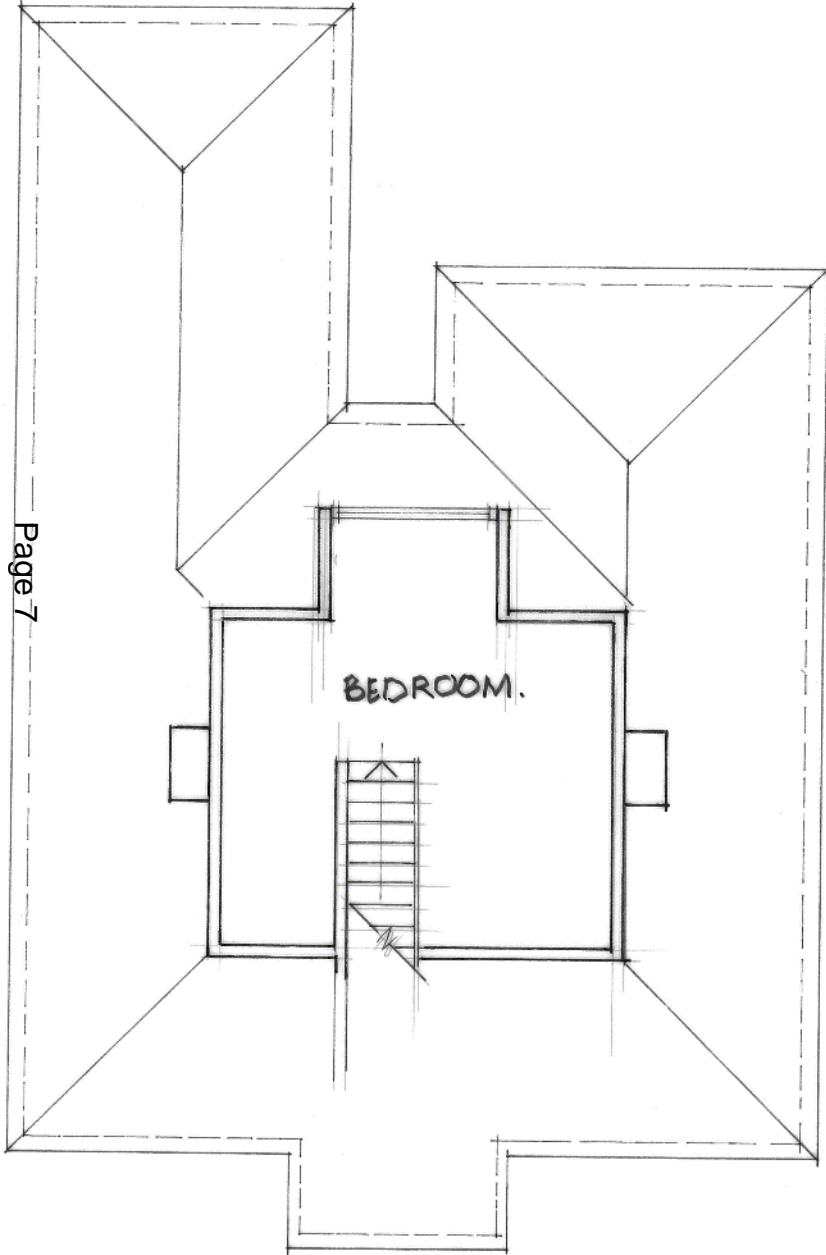


mb.

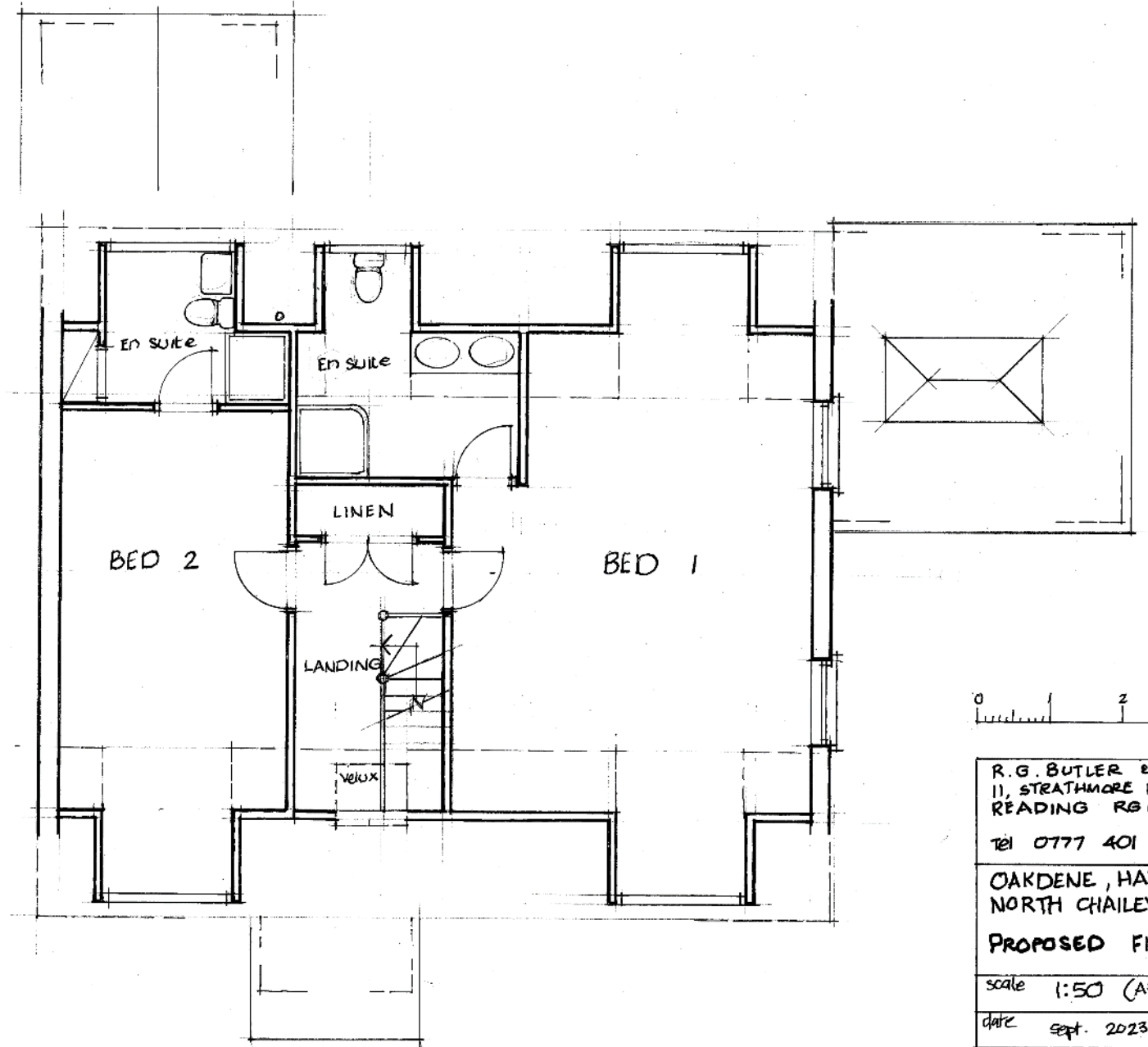


R.G. BUTLER & ASSOCIATES 11, STRATHMORE DRIVE CHARVIL, READING. RG10 9QT TEL. 0777 401 3684		
OAKDENE, HAZELDENE LANE NORTH CHAILEY, LEWES, BN9 4HH		
PROPOSED GROUND FLOOR		
scale	1:50 (A3)	Draw N°
date	Sept 2023	1232 / 5

Existing and Proposed First Floor Plan



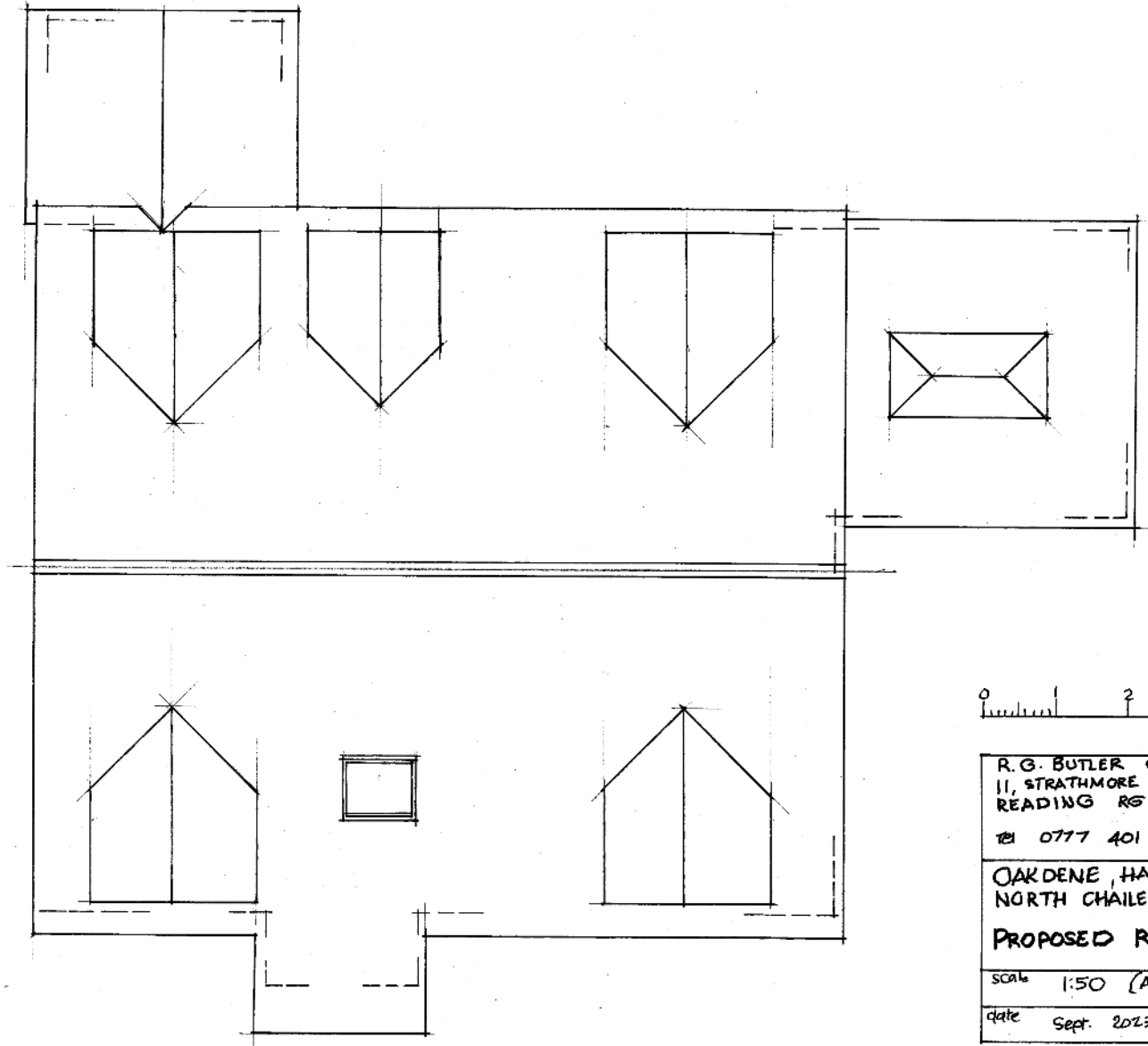
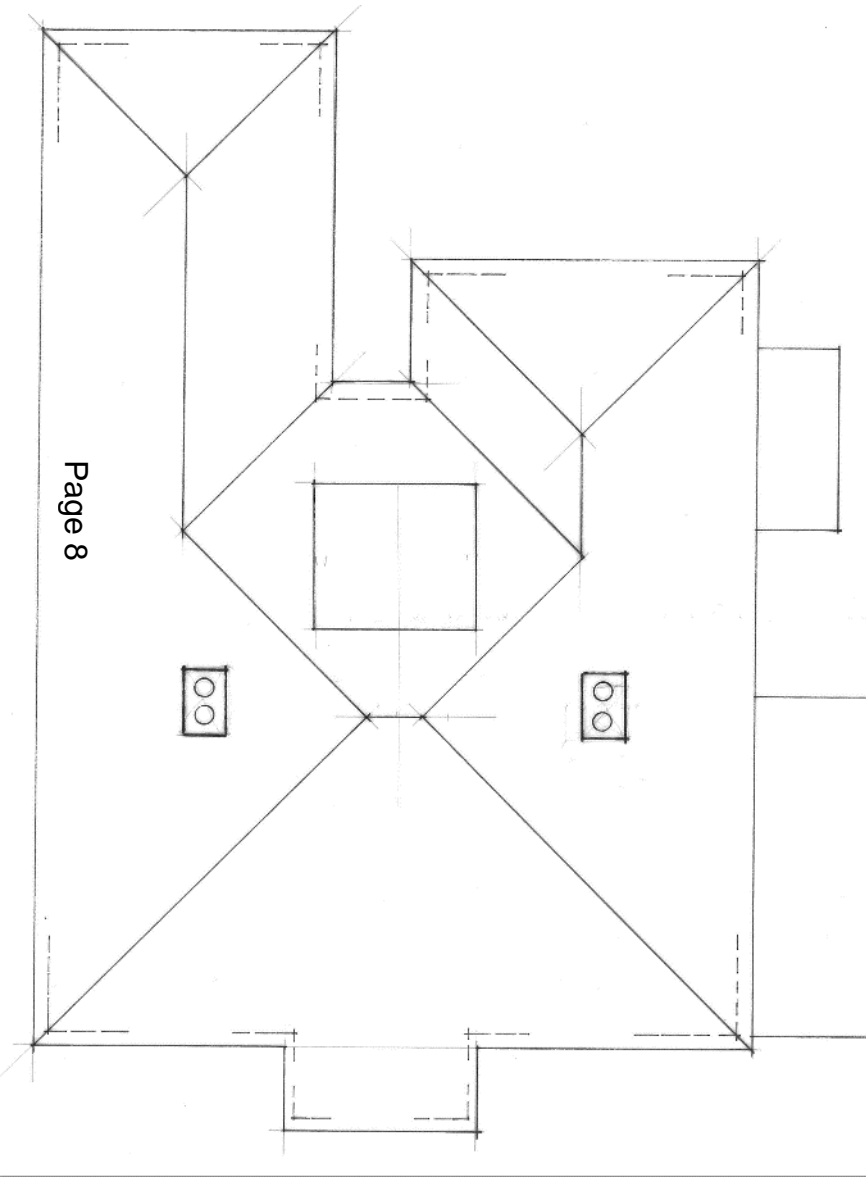
Page 7



0 2 3
R.G. BUTLER & ASS.
11, STREATHMORE DRIVE
READING RG10 9G
TEL 0777 401 368
OAKDENE, HAZELDEN
NORTH CHAILEY, LEICESTERSHIRE
PROPOSED FIRST FLOOR PLAN
scale 1:50 (A3) DRG
date sept. 2023

Existing and Proposed Roof Plan

Page 8



R. G. BUTLER & ASSOCIATES
11, STRATHMORE DRIVE, CHARVIL,
READING RG10 9RT
TEL 0777 401 3684

OAKDENE, HAZELDENE LANE,
NORTH CHAILEY, LEWES, BN8 4HH

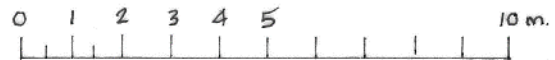
PROPOSED ROOF PLAN.

scale 1:50 (A2) Dwg No

date Sept. 2023

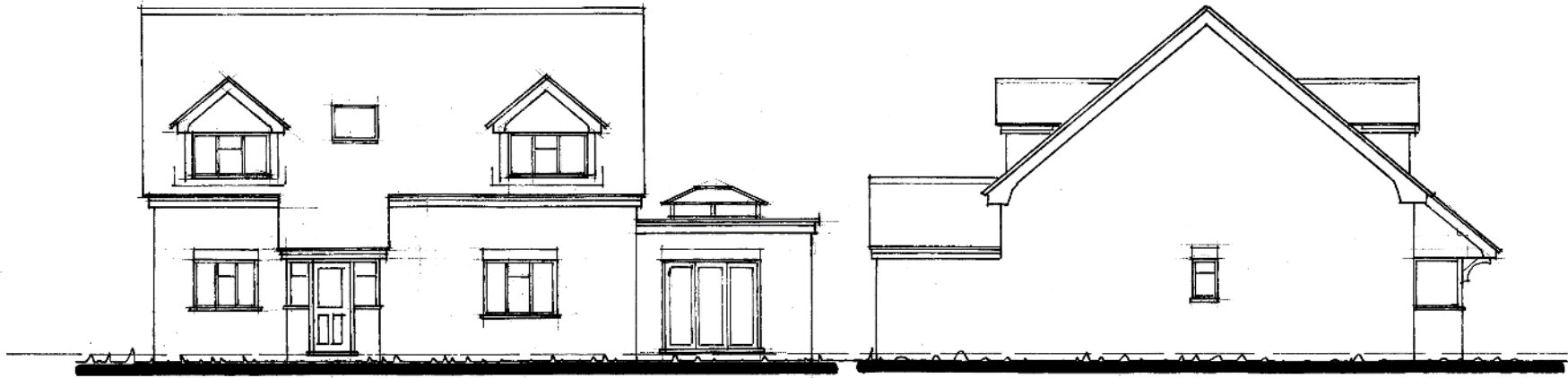
1232 / 7

Existing Elevations



P.G. BUTLER & ASSOCIATES 11, STRATHMORE DRIVE, CHARVIL, READING. RG10 9QT Tel. 0777 401 3684		
OAKDENE, HAZELDENE LANE, NORTH CHAILEY, LEWES, BN8 4HH		
EXISTING ELEVATIONS.		
scale	1:100 (A3)	DRG No
date	Sept 2023	1232 / 4

Proposed Elevations



FRONT (WEST) ELEVATION

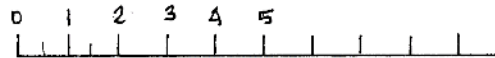
SID (NORTH)



REAR (EAST)

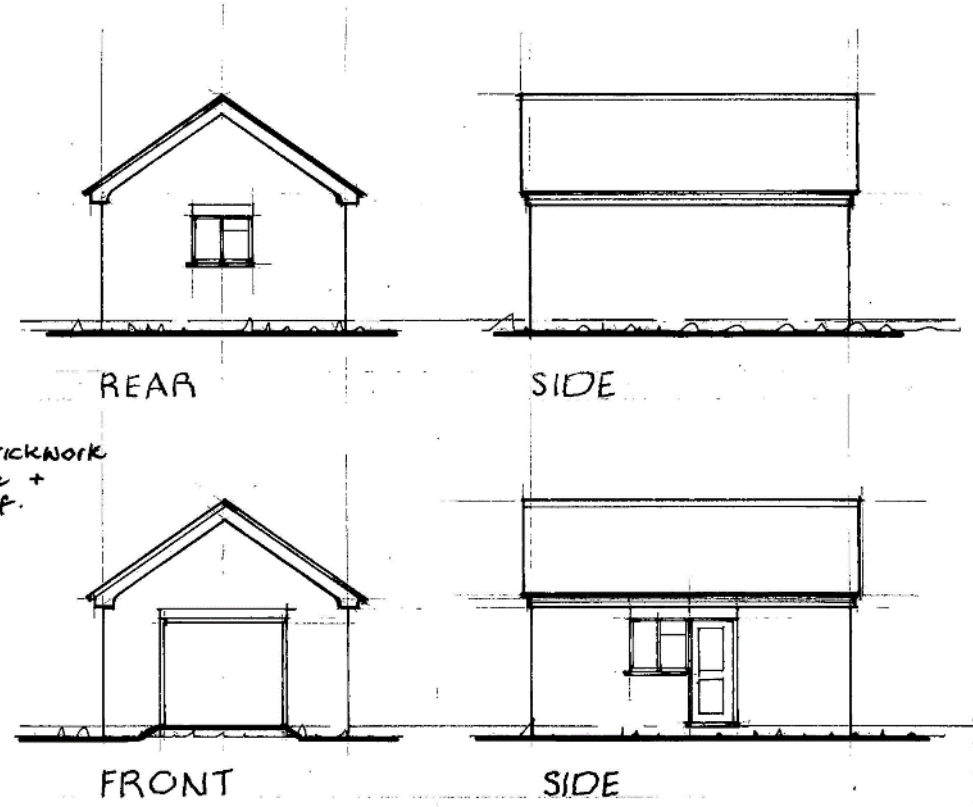
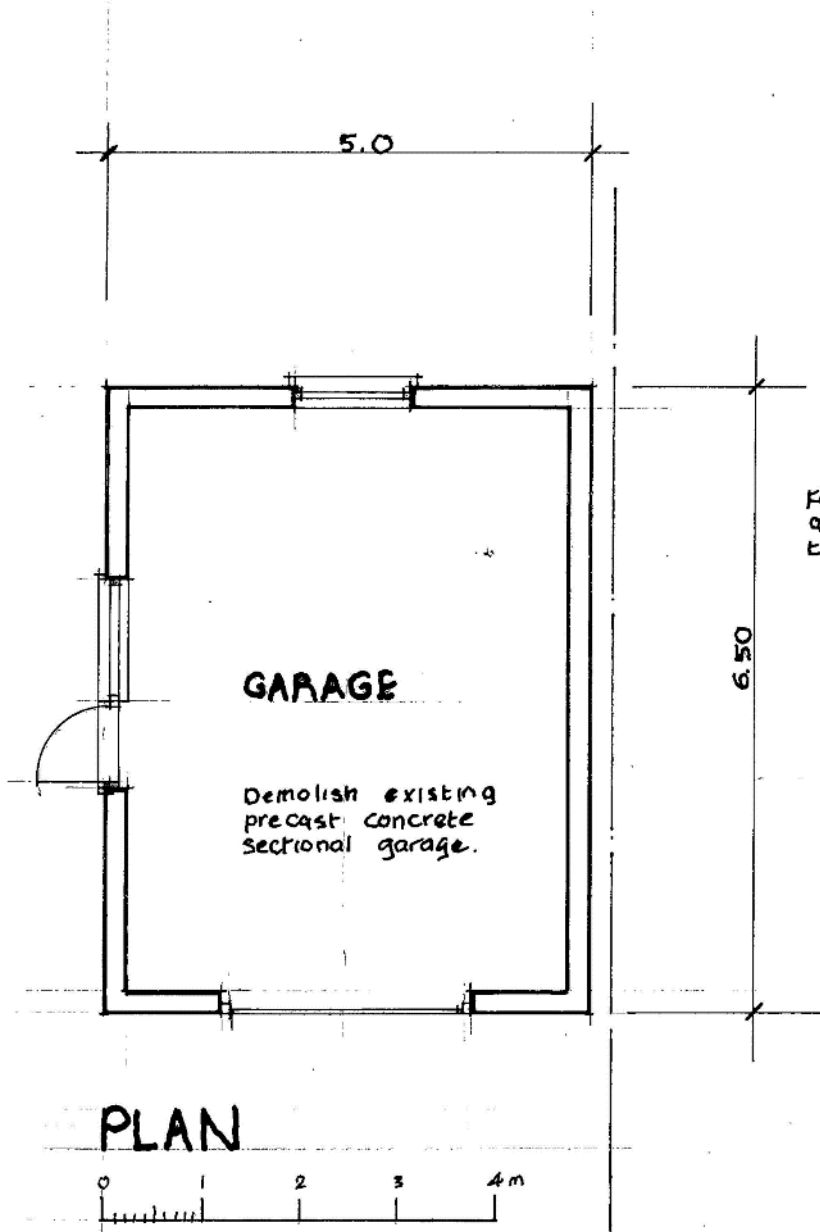


SIDE (SOUTH)



R.G. BUTLER & ASSOCIATES 11, STRATHMORE DRNE, CHARVIL, READING, RG10 9RT	
Tel. 0777 401 3684	
OAKDENE, HAZELDENE LANE, NORTH CHAILEY, LEWES, BN8 4HH	
PROPOSED ELEVATIONS.	
scale 1:100 (A3)	DRG N ^o
date Sept 2023	1232 / 8

Proposed Garage



R. G. BUTLER & ASSOCIATES 11, STRATHMORE DRIVE, CHARVIL, READING. RG10 9QT Tel. 0777 401 3684	
OAKDENE, HAZELDENE LANE, NORTH CHAILEY, LEWES, BN8 4HH	
PROPOSED GARAGE	
scale 1:50 + 1:100 (A3)	Page No
date Oct 2023	1232 / 10

Dwelling frontage and southern side elevation



Front Elevation



Rear Elevation



'Ranheim' – neighbouring dwelling on opposite side of road



Item No.
LW/23/0532

Site north Of Slugwash Gardens, Slugwash Lane,
Wivelsfield

Aerial View of Site.



Site Frontage Viewed from South (Summer)



Site Frontage Viewed from North (Winter)



Rear of Site (summer)



Rear of Site (Winter)



Approach to Site from South



View North to South Across Eastern Field



View to West Across Eastern Field



Ditch and Tree Line Between Fields



View East Across Eastern Field



View South Across Western Field



View North Across Western Field



TPO Oaks on Northern Boundary of Eastern Field



Site Plan



Proposed Roof Site Plan
1:200



- Key**
- Existing Tree to be removed
 - 01 Existing tree root protection zone (see Arb Report)
 - 02 N/A
 - 03 Culvert for existing drainage ditch
 - 04 New native hedgerow
 - 05 New timber post and rail fence
 - 06 Area of enhanced native landscape, enhanced to native scrub to mixed
 - 07 Existing trees/hedge lines retained
 - 08 Bin lorry turning head
 - 09 Covered bin store
 - 10 Bin presentation handstanding
 - 11 Paved path areas
 - 12 New culvert and access road over existing root protection zone, formed of no-dig construction method
 - 13 Stabilised Gravel
 - 14 Block Pavers to parking areas

74	201223	Drainage gate removal	3"	AK
50	201222	Tracking & safe rock amended	0"	AK
20	200522	Ground to Parking	0"	AK
71	200923	Proposed to layout with architecture	0"	AK
	200923	Final Issue	0"	AK

Rev: Date: Revs in Details: OK / CH

London: 70 Great South Street, London, SE1 0HQ
 T: 020 7900 2773 E: london@ecearchitect.com
 Bristol: 14-15 Bygone Road, Wotton Bassett, Wiltshire, Wiltshire, SN6 7JY
 T: 01203 245777 E: wilton@ecearchitect.com
 Bristol: Planning, Design & Construction Services, 25-27 Colston Street, Bristol, BS1 1XZ
 T: 0117 221 1100 E: bristol@ecearchitect.com

ECE Architecture
www.ecearchitect.com

Site No: 7311
Land at Slugwash Lane

Tracing Title:
Proposed Site Plan - Roof

Scale:
1:200 @ A1 / 1:400 @ A3

Project	7311	Drawing No.	PL 05	Rev	P4
Drawn	Checked	Date	10/05/23		
DP	AK				

APPROVAL

THIS DOCUMENT IS THE PROPERTY OF ECE ARCHITECTURE AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ECE ARCHITECTURE. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

UNAPPROVED/ISSUED FOR INFO

Ground Floor Plan Showing Refuse Lorry Tracking



- Key
- Existing Tree to be removed
 - Modified grass/land lawn (communal amenity)
 - Existing tree root protection zone (see Aris Report)
 - N/A
 - Culvert for existing drainage ditch
 - New native hedgerow
 - New timber post and rail fence
 - Area of enhanced native landscape, enhanced tremble scrub to mixed
 - Existing tree/hedge lines retained
 - Bin lorry turning head
 - Covered bin store
 - Bin presentation hoarding
 - Paved patio areas
 - New culvert and access road over existing root protection zone, formed of no-dig construction method
 - Stabilised Gravel
 - Block Pavers to parking areas
 - Existing level
 - Proposed level

07	08/10/20	Grass management	06	06
18	20/10/23	Fencing & foot path reinstated	11	AK
19	18/05/23	Locals amended	11	AK
24	28/05/23	Tree & lawn reinstated	11	AK
26	16/05/23	Hoarding for Planning	06	AK
12	18/05/23	26.0m x 4m culvert	11	AK
13	18/05/23	Revised site layout with annotations	11	AK
	15/05/23	Final Issue	11	AK

Hor: EWE, NATION LINDA, LX: GH

London: 75 Great South Street, London, SE1 8HQ
 T: 020 7506 3723 E: london@ecearchitecture.com

Sussex: 14-15 Brighton Road, Brighton, BN1 3RN
 T: 01323 242777 E: sussex@ecearchitecture.com

Sheffield: 100-102 St. Ann's Street, Sheffield, S2 4AN
 T: 0114 224 4301 E: sheffield@ecearchitecture.com

ECE Architecture
 www.ece-arch.com

REMMUS

Proposed Ground Floor Site Plan
 1 : 200



App No: Land at Slugwash Lane

Drawing Title: Proposed Site Plan - Ground Floor

Scale: 1:200 @ A1 / 1:400 @ A3

Project	7311	Drawing No	PL 03	Rev	P7
Drawn	DP	Checked	AK	Date	10/05/23

Status: APPROVAL

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. IT IS THE PROPERTY OF REMMUS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF REMMUS.

First Floor Plan



Proposed First Floor Site Plan
1:200



NO.	DATE	DESCRIPTION	BY	CHK
01	2023-02-06	PROPOSED PLAN	AK	AK
02	2023-02-06	REVISIONS	AK	AK
03	2023-02-06	REVISIONS	AK	AK

ECE Architecture
1000 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 1T6
TEL: 604-681-1111
WWW.ECEARCHITECTURE.COM



Project Name
Land at Slughwash Lane

Project No.
Proposed Site Plan - First Floor

Scale	1:200 @ A1 / 1:400 @ A3	
Drawn	7311	PL 04
Checked	DP	AK
Date	02.06.23	

APPROVAL

THIS DOCUMENT IS THE PROPERTY OF ECE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ECE ARCHITECTURE.

DATE PLOTTED: 02/06/2023



Proposed First Floor Plan
1: 100



Proposed East Elevation
1: 100



Proposed North Elevation
1: 100



Proposed South Elevation
1: 100



Proposed West Elevation
1: 100



Proposed Ground Floor Plan



Section AA
1: 100

Materials Key

- 01 Macbrown Multi Brick
- 02 Dark Timber Cladding - Wide
- 03 Dark Timber Cladding - Narrow
- 04 Metal dormer windows
- 05 Metal rainwater goods
- 06 Slate Roof
- 07 Timber entrance doors
- 08 Composite windows and doors
- 09 Projecting metal porch canopy
- 10 Metal sleeved feature window
- 11 Brick soldier course band
- 12 Rusticated brick panel
- 13 Metal standing seam roof

Plot	Ground Floor GIA (sqm)	First Floor GIA (sqm)	TOTAL GIA (sqm)
Plot 1 (204P)	45.2	40.5	85.7
Plot 2 (204P)	45.9	40.9	86.8
Plot 3 (205P)	57.2	57.2	114.4

*Measurement includes areas of low headroom at first floor up to 1.9m in height.

Plot 1 (204P) Plot 2 (204P) Plot 3 (205P)
 01 Macbrown Multi Brick 02 Dark Timber Cladding - Wide
 03 Dark Timber Cladding - Narrow 04 Metal dormer windows
 05 Metal rainwater goods 06 Slate Roof
 07 Timber entrance doors 08 Composite windows and doors
 09 Projecting metal porch canopy 10 Metal sleeved feature window
 11 Brick soldier course band 12 Rusticated brick panel
 13 Metal standing seam roof



Land at Slugwash Lane

Plots 1-3 - Plans, Section and Elevations

Scale: 1:100 @ A1 / 1:200 @ A3

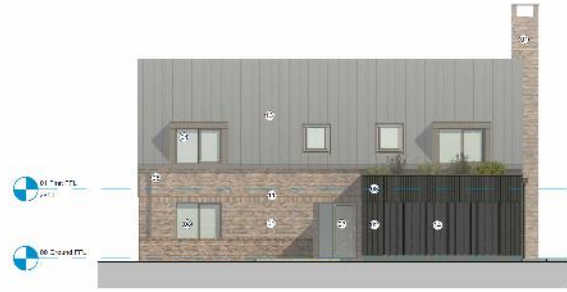
7311	PL 06	P1
DP	AK	17.04.23



Proposed First Floor Plan
1:100



Proposed Ground Floor Plan
1:100



Proposed South Elevation
1:100



Proposed West Elevation
1:100



Proposed North Elevation
1:100



Proposed East Elevation
1:100



Section AA
1:100

Gross Internal Area (sqm)		
	C/A (sqm)	C/A (sqft)
Ground Floor	119.6	
First Floor	83.2	
TOTAL	202.8	2,183

*Measurement excludes canopies.
Measurement includes areas of low headroom
at first floor up to 1.5m in height

Materials Key

- 01 Red/Drum Multi Brick
- 02 Dark Timber Cladding - Wide
- 03 Dark Timber Cladding - Narrow
- 04 Metal domes windows
- 05 Metal rainwater goods
- 06 Slate Roof
- 07 Timber entrance doors
- 08 Composite windows and doors
- 09 Projecting metal porch canopy
- 10 Metal exposed feature window
- 11 Brick soldier course band
- 12 Rusticated brick panel

BY: 19/05/21	ARCHITECT: REMMUS	EN: 16
PL: 19/06/22	PLANNING: JAAK	DN: 07
19/06/22	PROCESSED:	CF: 06
NO: 204	NO: 10101000	ET: 08



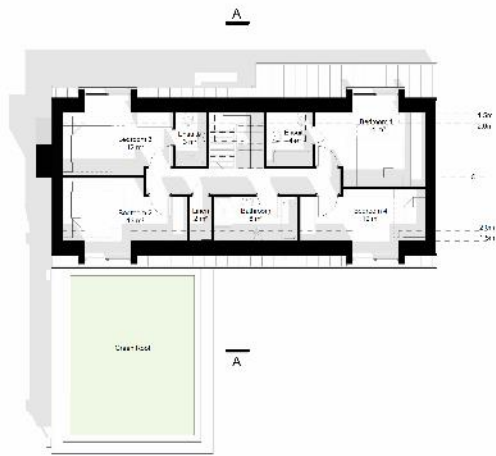
JOB NO:
Land at Slugwash Lane

PROJECT NO:
Plot 4 - Plans, Section and Elevations

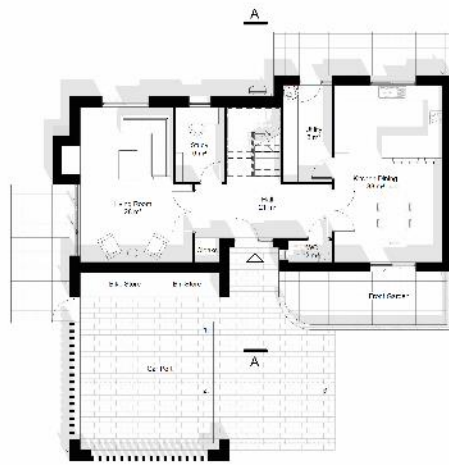
SCALE:
1:100 @ A1 / 1:200 @ A3

NO: 7311	DATE: 19/06/22	NO: P2
NO: DP	DATE: 17.04.23	

Unit 4



Proposed First Floor Plan
1:100



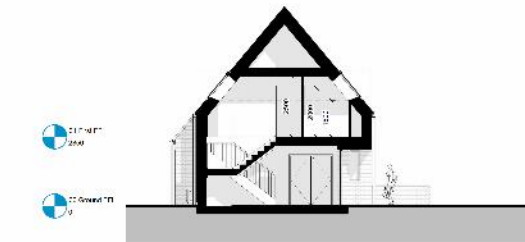
Proposed Ground Floor Plan
1:100



Proposed South Elevation
1:100



Proposed North Elevation
1:100



Section AA
1:100



Proposed West Elevation
1:100



Proposed East Elevation
1:100

Gross Internal Area - Plot 5	
Ground Floor	GIA (sqm) 95.5
First Floor	GIA (sqm) 83.2
TOTAL	181.7

*Measurement excludes canopy.
Measurement includes areas of low headroom
at first floor up to 1.5m in height

Materials Key

- D1 Hardwood Multi Back
- D2 Dark Timber Cladding - Wide
- D3 Dark Timber Cladding - Narrow
- D4 Metal corner windows
- D5 Metal rainwater goods
- D6 Slate Roof
- D7 Timber entrance doors
- D8 Composite windows and doors
- D9 Projecting metal porch canopy
- D10 Metal sleeved feature window
- D11 Brick soldier course band
- D12 Reclaimed brick panel

D1	Hardwood Multi Back	62
D2	Dark Timber Cladding - Wide	56
D3	Dark Timber Cladding - Narrow	48
D4	Metal corner windows	12
D5	Metal rainwater goods	18

ECE Architecture
 17.04.23 11:58 AM
 17.04.23 11:58 AM

REMMUS
 ARCHITECTS

Site: Land at Slugwash Lane

Plot 5 - Plans, Section and Elevations

Scale: 1:100 @ A1 / 1:200 @ A3

Project	7311	PL 08	P2
Date	DP	AK	17.04.23



Proposed First Floor Plan
1 : 100



Proposed North Elevation
1 : 100



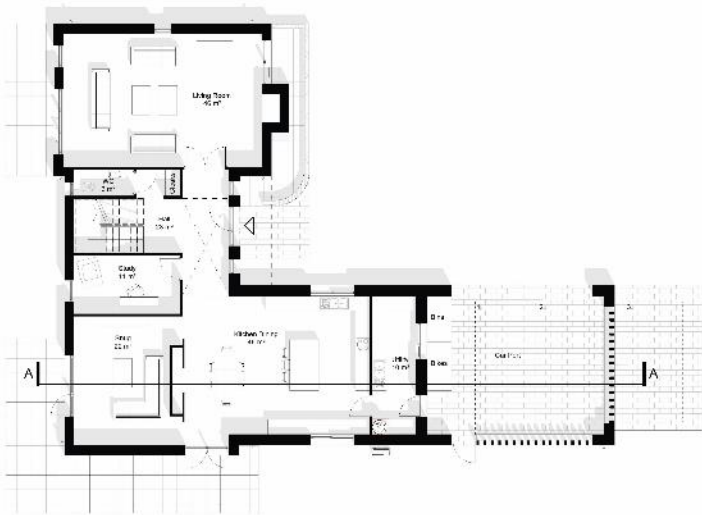
Proposed East Elevation
1 : 100



Proposed South Elevation
1 : 100



Proposed West Elevation
1 : 100



Proposed Ground Floor Plan
1 : 100



Section AA
1 : 100

Gross Internal Area - Plot 6 (1/1881)		
	GIA (acm)	GIA (acft)
Ground Floor	162.3	
First Floor	102.3	
TOTAL	264.6	2,845

*Measurement excludes car-porbs.
Measurement includes areas of low head-room at first floor up to 1.5m in height.

Materials Key

- D1 Red-Brick Multi Brick
- D2 Dark Timber Cladding - Wide
- D3 Dark Timber Cladding - Narrow
- D4 Metal dormer windows
- D5 Metal rainwater goods
- D6 Slate Roof
- D7 Timber entrance coore
- D8 Composite windows and doors
- D9 Projecting metal porch canopy
- D10 Metal eaveled feature window
- D11 Brick soldier course band
- D12 Rusticated brick panel

P1	12/06/22	Planning JAWK	DP AK
	12/06/22	Final Issue	DP AK
Rev	Date	By	Checked



JOB NO:
Land at Slugwash Lane

DRAWING NO:
Plot 6 - Plans, Section and Elevations

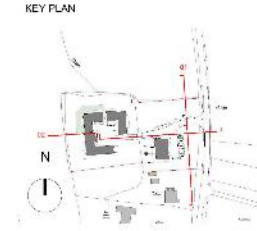
SCALE			
1:100 @ A1 / 1:200 @ A3			
7311	PL 09	P1	
DATE	CLIENT	DATE	SCALE
DP	AK	17.04.23	

Site Sections



Street Elevation 1 (Slugwash Lane)

1 : 200



Street Elevation 2

1 : 200

P2 2/10/22 Public Works Approval
 P1 2/10/22 Issues to Planning
 Rev. Date Description
 E1 01/21

CLIENT: 76 Clear Creek Road
 Johnson, CO 80120
 7133 150E 27th C. Road - Clear Creek Road
 DENVER, CO 80231
 ARCHITECT: 7311 10th Avenue, Suite 100
 Golden, CO 80401
 303.644.1111
ECE Architecture
 (303) 644-1111



JOB #:
Land at Slugwash Lane

Project #:
Proposed Street Elevations

Scale:
1:200 @ A1 / 1:400 @ A3

Sheet	DATE PLO	NO.
7311	PL 10	P2
DATE	DATE	DATE
DP	AK	01.10.21

APPROVAL

Site Sections 2



Site Section - AA
1 : 200



Site Section - BB
1 : 200



P2	2/10/22	Public Works Approval	DP AK
P1	12/06/21	Issue to Planning	DP AK
Rev.	Date	Revised/By	By


ECE Architecture
 CONSULTANTS
 15000 150th Street, Surrey, BC V3R 4S1
 604-875-1111
 15000 150th Street, Surrey, BC V3R 4S1
 604-875-1111
 15000 150th Street, Surrey, BC V3R 4S1
 604-875-1111


REMMUS
 ARCHITECTS

Job #: **Land at Slugwash Lane**

Drawing No: **Proposed Site Sections - AA and BB**

Scale: **1:200 @ A1 / 1:400 @ A3**

Project: **7311** UTA (J) Job: **PL 11** P2

Date: **01/10/22** Date: **01.10.21**

Drawn: **AK**

Status: **APPROVAL**

Visualisation - Site Entrance









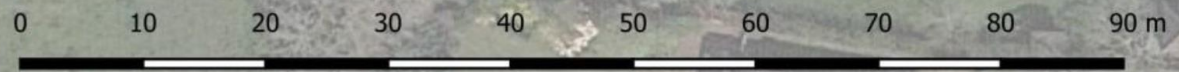
Visualisation – Courtyard Area



Existing Tree/Landscape Survey



-  Bramble scrub
-  Baseline large trees
-  Baseline medium trees
-  Baseline small trees
-  Baseline native hedge
-  Baseline tree line



Drawn by: C Williams on 26-10-2023

Scale at A4
(not report
projection)

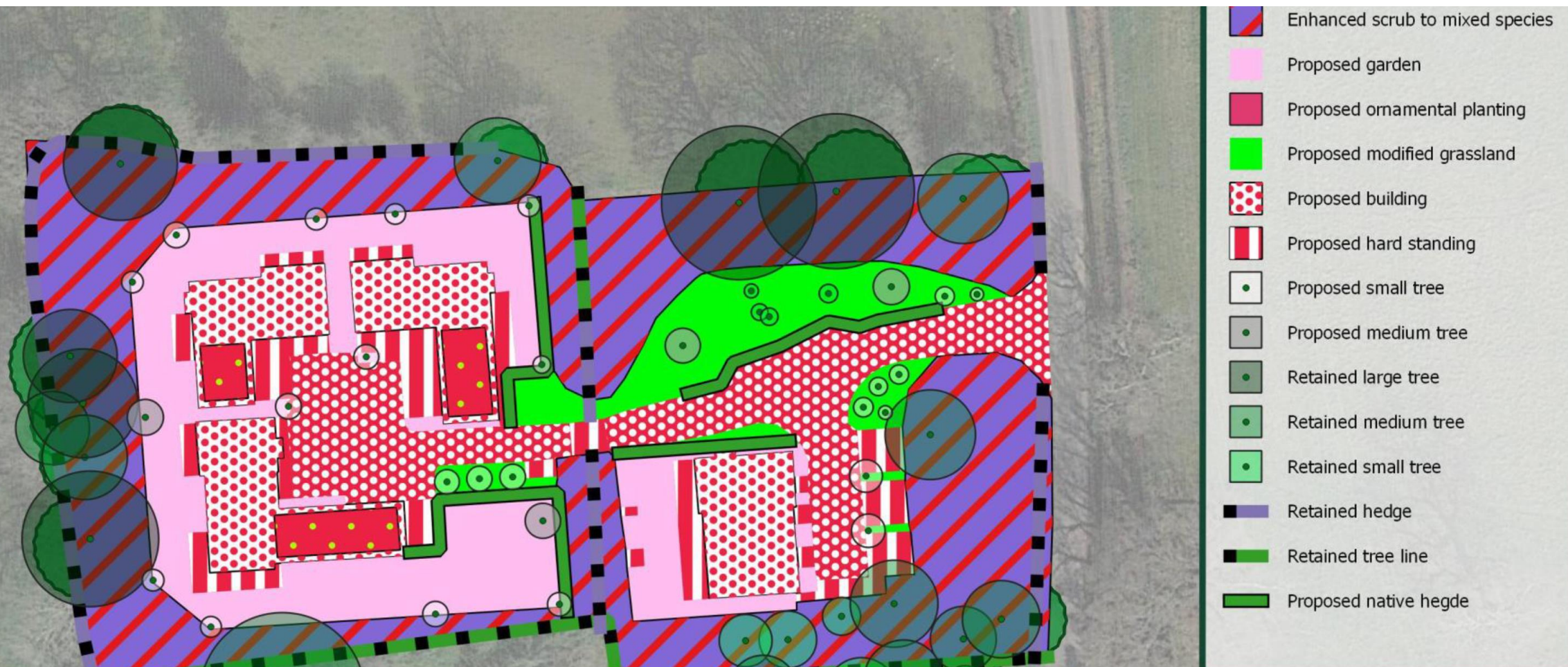
1:750



Reproduced from GoogleEarth 2023



Proposed Retained Trees/Landscape/BNG Plan



- Enhanced scrub to mixed species
- Proposed garden
- Proposed ornamental planting
- Proposed modified grassland
- Proposed building
- Proposed hard standing
- Proposed small tree
- Proposed medium tree
- Retained large tree
- Retained medium tree
- Retained small tree
- Retained hedge
- Retained tree line
- Proposed native hedge

Drawn by: C Williams on 06-11-2023

Scale at A4
(not report
projection)

1:750



Reproduced from GoogleEarth 2023

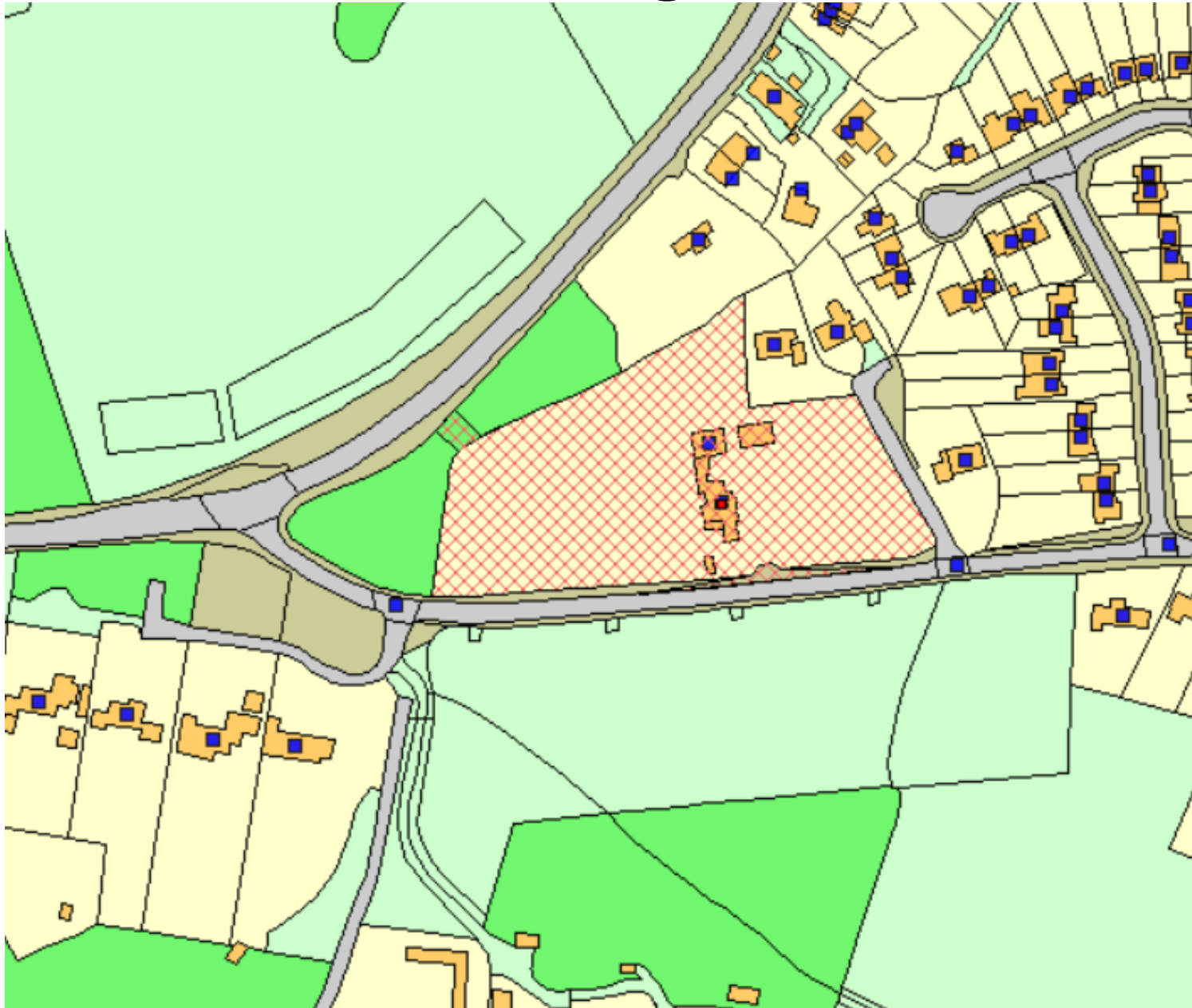


LW/23/0511

104 Allington Road, Newick

Demolition of existing house, (Point House) and tennis court and development of 6 new homes. Retention of existing single access onto Allington Road.

Point House – 104 Allington Road, Newick



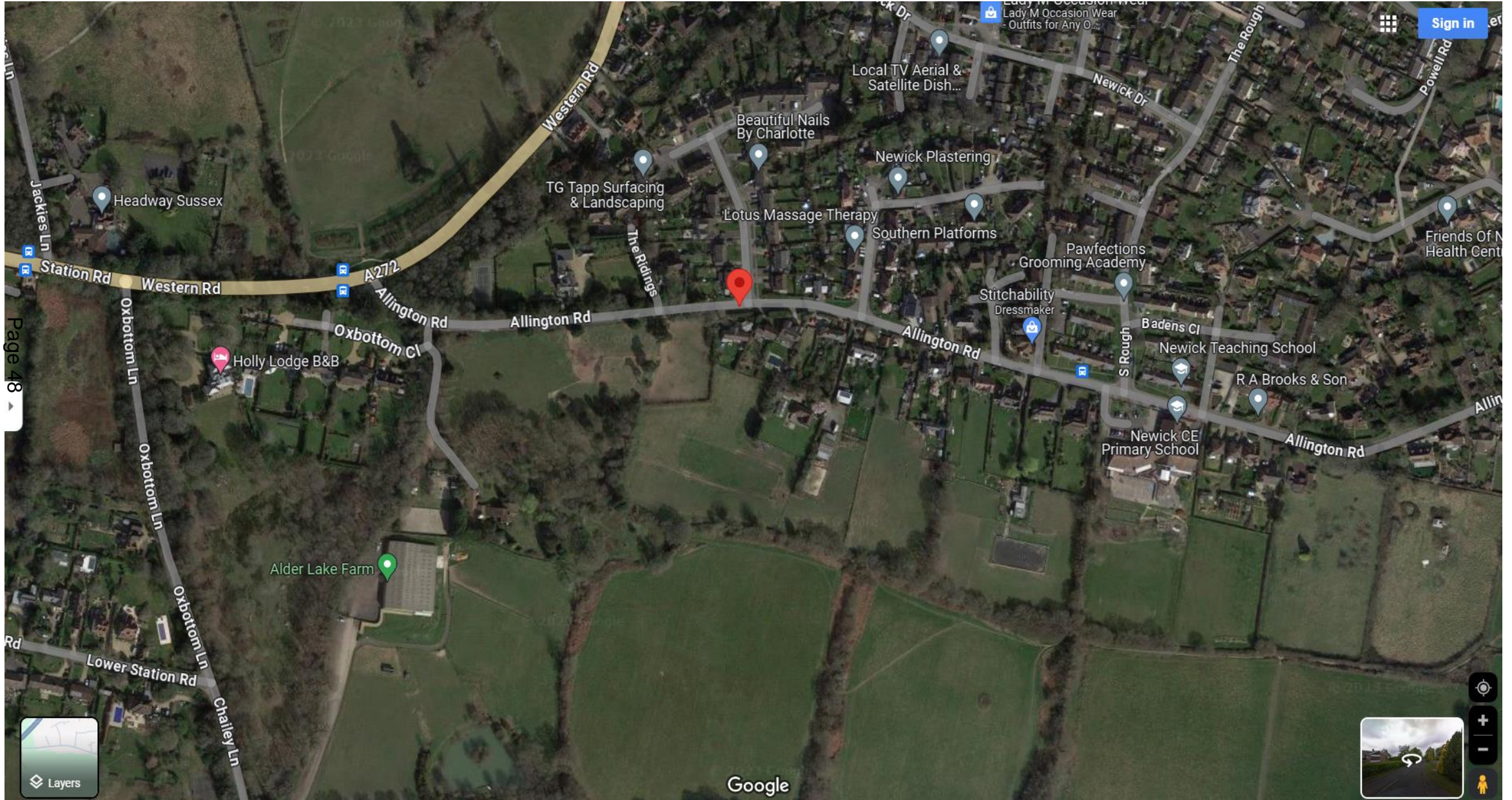
Site Plan



Google Site Picture



Google – Newick West



Allington – looking west



Western Road – looking east



Allington Road and Western Road Views

2.0 SITE ANALYSIS

2.03 Site Description

The application site is located to the western edge of the built up residential area of Newick, with Allington Road located to the south of the site.

The site is surrounded by residential properties predominantly to the east, which are of varying character, materiality and form. Along Allington Road, the site is lined by mature trees and hedgerow and an open farmland beyond. The northern boundary abuts a dense wooded area that protects the site from the A272 Western Road.

The mature tree belt that runs along the northern, western and southern site boundaries are currently under a Tree Protection Order. For further information on the existing trees on site please refer to the Tree Survey by David Archer Associates that accompanies this application.

An established hedge runs along the north/eastern site boundary acting as a landscape buffer between the site and the 3 detached house located off of The Ridings.

The site has a gradual slope from west to east, starting at approx +53 AOD and rising to +56 AOD on the eastern site boundary.



1. View looking east along Allington Road



2. View looking west along Allington Road



3. View looking south west along Western Road



Key Plan

104 Allington Road – Point House 1

2.0 SITE ANALYSIS

2.04 Site Photos

The site is approximately 0.59ha in size and predominantly consisting of grassed gardens with a large detached residential building called the Point House. The existing detached house and garage are located in the centre of the site with a tennis court to the west. The primary access is through a gated fence off Allington Road leading to a large parking forecourt in front of the house.

Point House is a large detached property set within established landscaped gardens. The two storey dwelling is mostly finished in white render with a slate roof. The house consists of several connected built forms which spread across the site in a north-south direction.

A large detached car port with attached garages and sheds is located north east of the main house.

At the western end of the site is a full size tennis court set within a landscaped walled garden.

The site is currently screened by existing boundary trees and hedging limiting views into the site. The topography of the site is relatively flat with a gradual downward slope along the northern area of the site.



1. View of existing site entrance



2. View looking north from the parking courtyard towards the detached garage.



3. View looking east towards the rear elevation of Point House.



4. View looking west towards Point House from the parking forecourt.



Site Location



5. View looking west from Point House towards the Tennis court in the distance.



6. View looking north west across the tennis court located at the western end of the site.

104 Allington Road – Point House 2

EXISTING SITE

The Existing Site

The site is currently residential garden including areas of lawn, a tennis court, vegetable garden and small shed.

The site is generally flat and is clear of any significant constraints.



Existing Dwelling - Point House



Existing Site

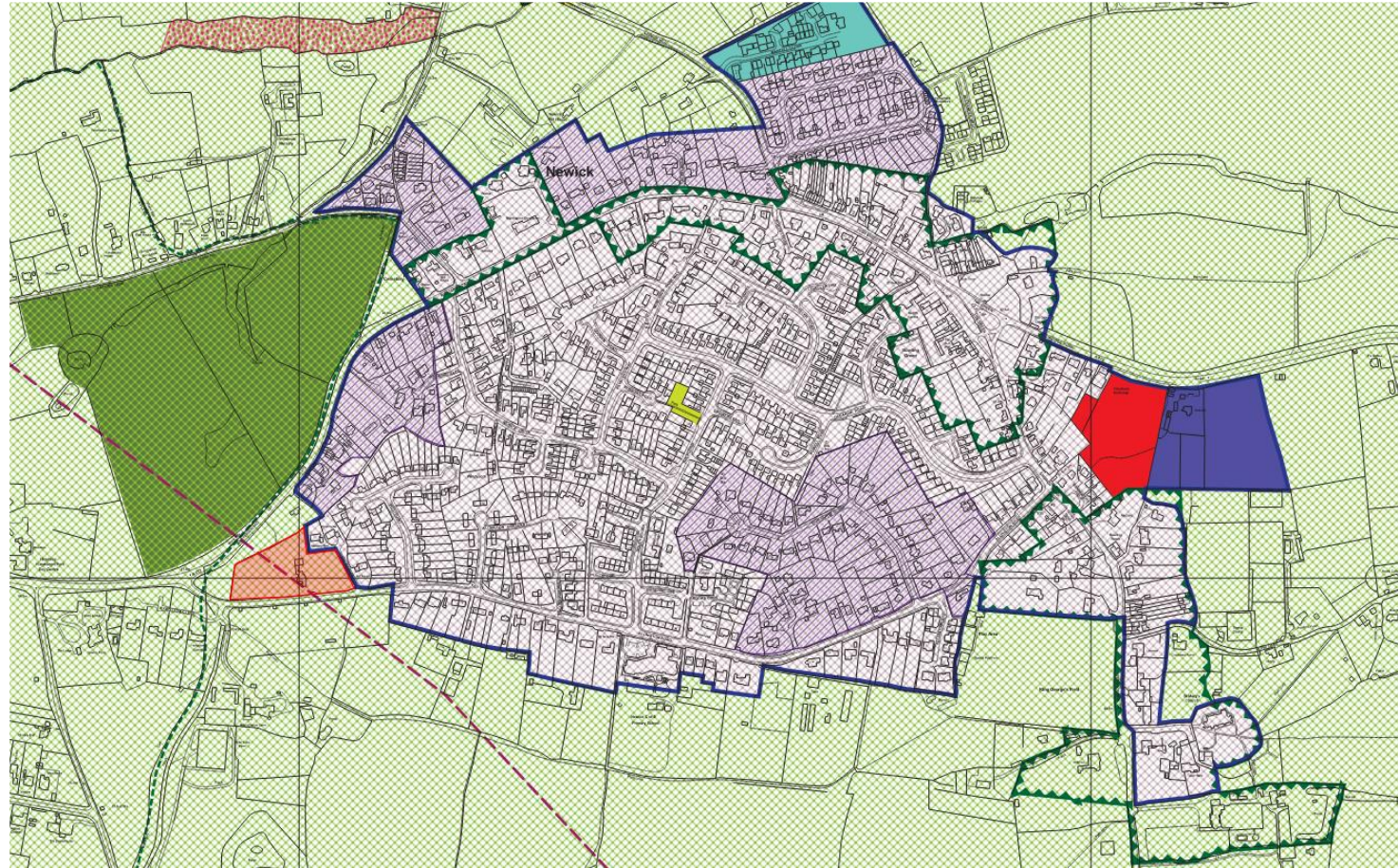


Existing Tennis Court

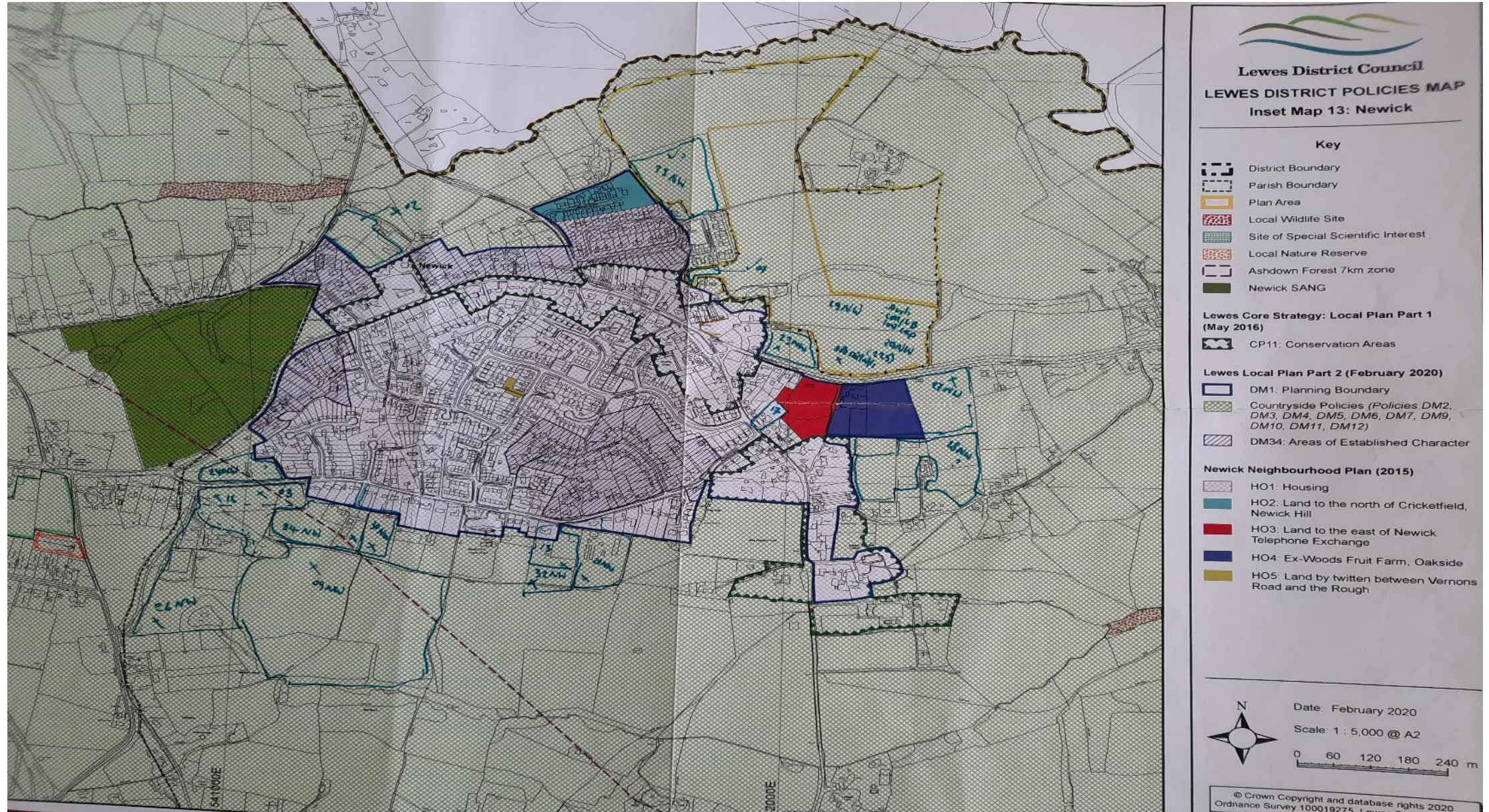


Site of Plot 3

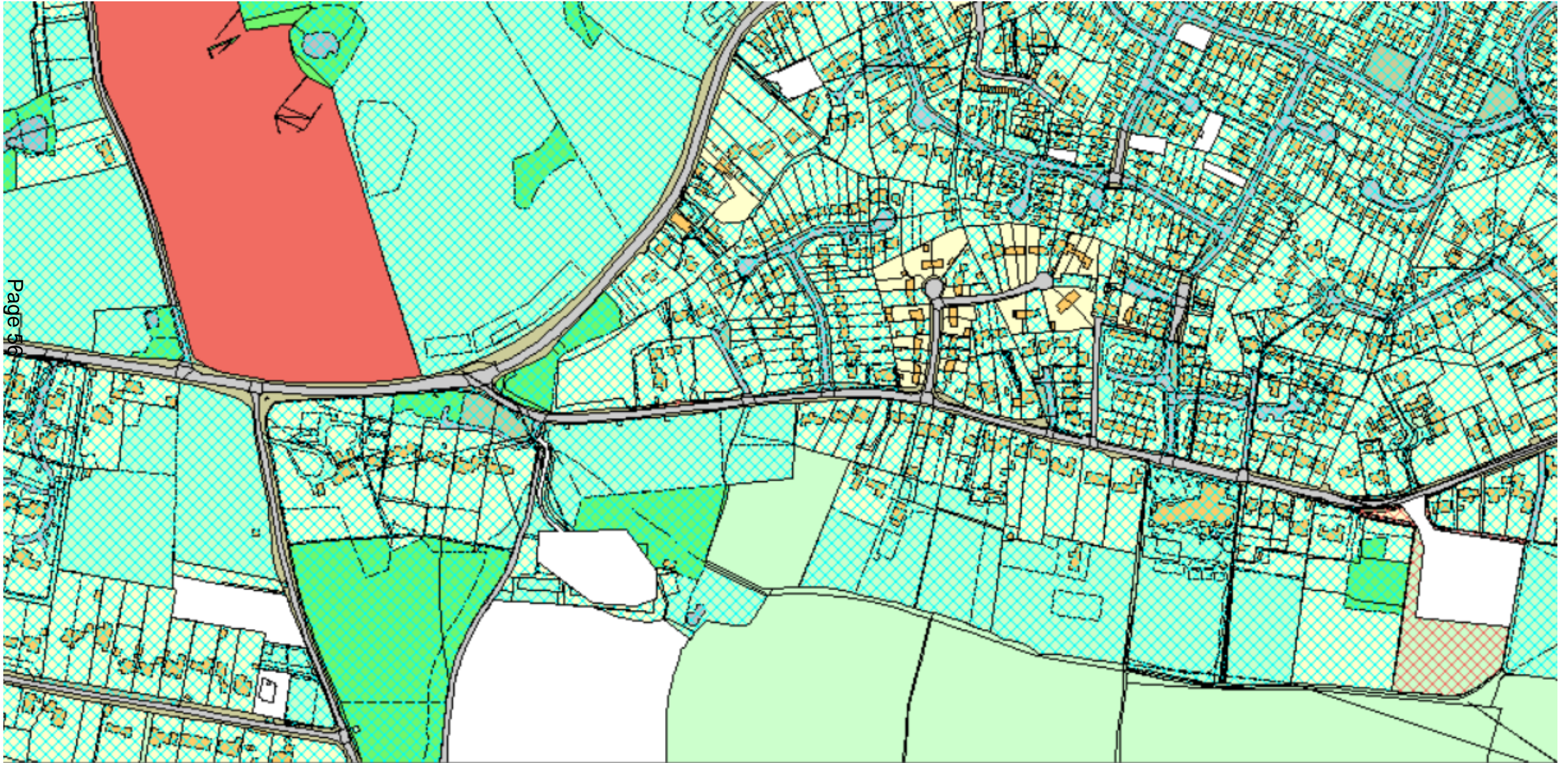
Site and Newick Settlement boundary



Inset Plan 13 - Newick



Allington Road, Western Road and Oxbottom Lane



LW/19/1029 Refused and Dismissed on Appeal



LW/19/1029 Refused and Dismissed on Appeal.



LW/23/0511 Current Proposal

Page 59



Site Plan.



Proposed Layout

CDM 2015 Health & Safety Information
The information contained in this report is for the use of the client and is not to be distributed to any other party without the prior written consent of the Designer.



Existing Site and Trees



0m 5m 10m 15m 20m 25m
1:250@A0



SENSITIVE DEMOLITION

Where indicated on the plan, demolition of structures and removal of existing hard surfacing of retained trees shall be undertaken under arboricultural supervision. Where possible, no surfaces within retained trees' RPAs shall be left in situ. In the demolition, to provide continuing protection to roots and soil. Machinery used for the demolition shall be stationed and operated either outside the existing floorlabs or hard surfacing reinforced with additional temporary ground protection to working loads without distortion or compaction of soil.

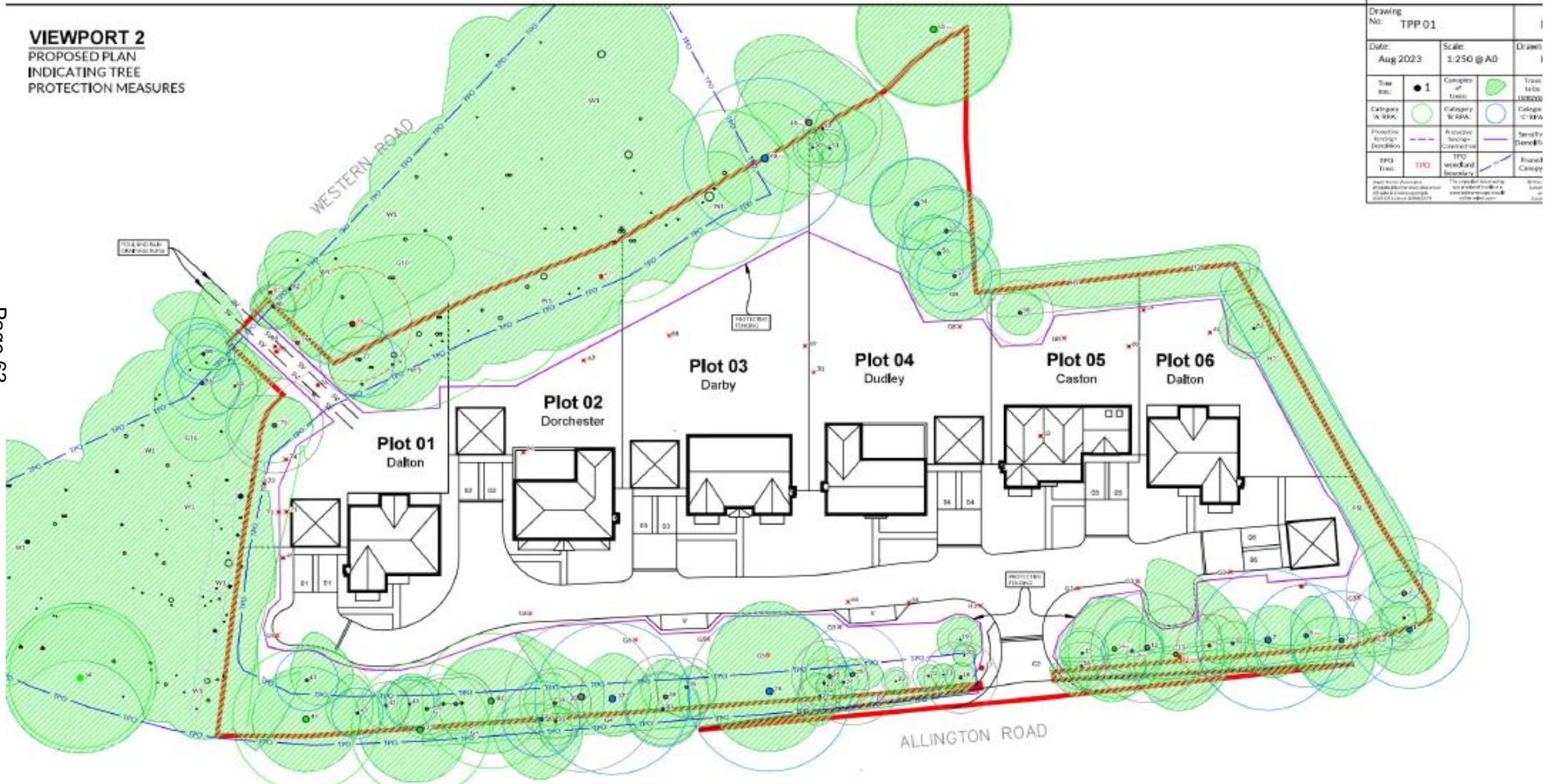
Structures shall be demolished so that material away from retained trees' RPAs and are stockpiled away without vehicles encroaching into or across existing foundations cannot be left in situ, they shall be broken up using pneumatic or hydraulic breakers, and run an excavator fitted with a toothless grading bucket outside the RPAs or an existing floorlabs or hard surfacing and pulling the material back away from the RPAs & out of the ground.

Where existing hard surfacing is to be removed the wearing course will be broken up using a pneumatic breaker, and removed using hand wheelbarrows. Where it is necessary to remove this shall be undertaken using digging forks to material which will then be removed using hand wheelbarrows. At the discretion of the arboriculturist, it may be possible to use an excav hydraulic breaker and a toothless grading excavator to be used it must be situated outside either on top of the hard surfacing and working on RPAs, or from temporary ground protection.

Any tree roots exposed by the removal of hard foundations or structures shall be immediately protected using well heeled. A cover topsoil will be applied as soon as it is practically possible.

Proposed Scheme and Trees

VIEWPORT 2
 PROPOSED PLAN
 INDICATING TREE
 PROTECTION MEASURES



Drawing No: TPP01		Drawn
Date: Aug 2023	Scale: 1:250 @ A0	Drawn
Size: 1	Category: W 100A	Tree to be removed
Category: W 100A	Category: W 100A	Category: W 100A
Protective Fencing: Description	Protective Fencing: Description	Protective Fencing: Description
TPZ: Tree	TPZ: Tree	TPZ: Tree
<small> This drawing is a proposed plan and does not constitute a contract. It is subject to the terms and conditions of the contract. </small>		<small> The copyright in this drawing is reserved by the author. </small>

Proposed Layout.

CDM 2015 Health & Safety Information
The information contained in this document is confidential and intended for the use of the client and its authorised personnel only. It is not to be distributed to any other party without the prior written consent of the client.

Page 64

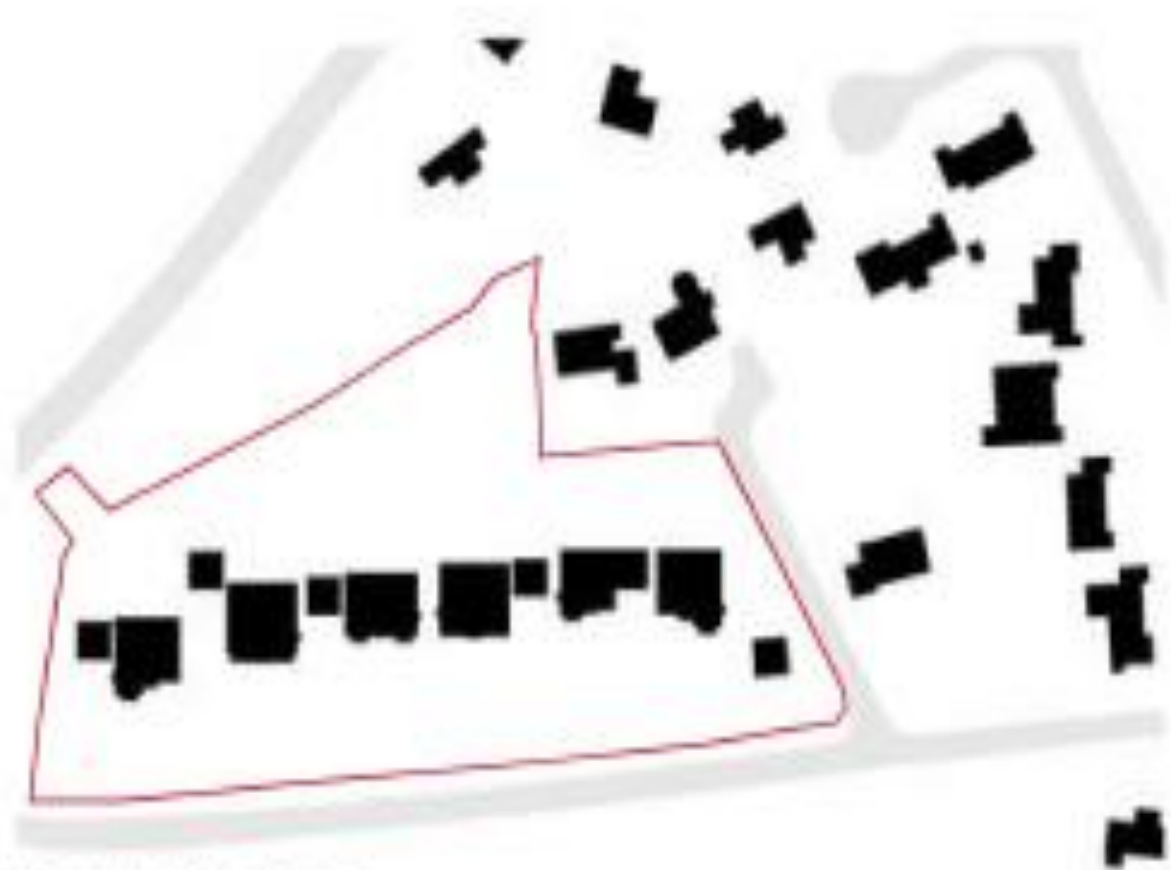


Ordnance Survey, (c) Crown Copyright 2022. All rights reserved. Licence number 100022432

CDM 2015 Health & Safety Information



Existing Urban Grain



Proposed Urban Grain

LW/23/0511 Current Proposal.



COM 2015 Health & Safety Information
 This information is for the use of the applicant and is not to be used for any other purpose.

Accommodation Schedule	
Plot 1	Residential - Dalton - BSBP - Detached - 240 Sqm - 200 Sqm
Plot 2	Residential - Dorchester - BSBP - Detached - 240 Sqm - 200 Sqm
Plot 3	Residential - Darby - BSBP - Detached - 270 Sqm - 200 Sqm
Plot 4	Residential - Dudley - BSBP - Detached - 260 Sqm - 210 Sqm
Plot 5	Residential - Caston - BSBP - Detached - 240 Sqm - 200 Sqm
Plot 6	Residential - Dalton - BSBP - Detached - 240 Sqm - 200 Sqm
Total	6 Buildings

Site Area	6.00 Hectares
Site Density	6.7 dwellings per hectare
Car Parking	2 spaces per residential house 2 disabled accessible spaces
Cycle Parking	2 spaces per 4 residential dwellings within secure rear garage
	Application Boundary Line

Disclaimer: This drawing is for information only and does not constitute an offer of any financial product. It is subject to the terms and conditions of the relevant financial product.

1:1250 @ A1 / 1:500 @ A0



Brookworth Homes Ltd.

Land of Allington Road, Newick, East Sussex, BN15 4NH

Proposed Site Layout

Scale: 1:250 @ A1 / 1:500 @ A0

DATE: 06.07.2023

NO: 7343 / PL-04 / P1

APPROVAL

Newick Local Housing Styles

2.0 SITE ANALYSIS

2.02 Local Character

Newick Village is located to the north east of the site. Property ages and styles vary throughout the village with the oldest along Western Road and along the historic High Street. The existing buildings generally comprise of a traditional elevation design, with two-storey dwellings being the predominant building form. The properties exhibit the use of a mixed stock red bricks with a contrasting brick colour to create banding and quoining detail.

To the north of the site is a cluster of dwellings which lies within a recognised 'Area of Established Character'. The dwellings are characterised by the use of red multi-brick to ground floor and tile hanging to the first floor with scallop detailing. The use of gables and chimneys are also prevalent in the area.

Along Allington Road, the properties include detached and semi-detached houses predominantly in brick with tile hanging to the first floor. Existing roof forms typically include gable ends, hipped and pitched roofs in clay roof tiles.

The predominantly traditional character of the buildings offer the opportunity to reference these features as part of the proposed design approach.



1. Terraced dwelling in brown multi-brick with red brick banding and quoining



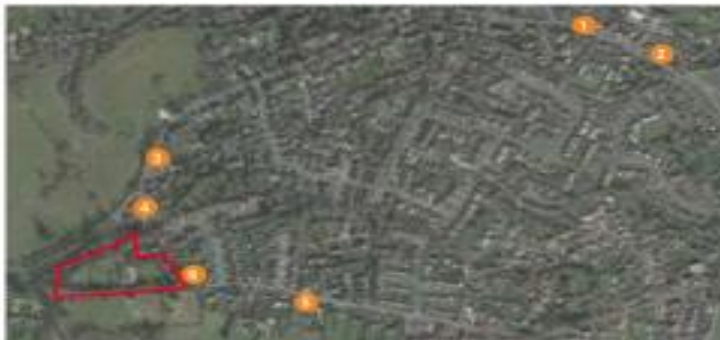
2. Semi-detached building with brick and tile hanging



3. Brick and tile hanging with scalloped detailing



4. Semi-detached dwelling in tile hanging and brick



Key Plan



5. Detached tile hung and brick dwelling with prominent gable forms



6. Detached dwelling in brick and tile hanging

Development Appearance

The dwellings have been designed to have a traditional appearance which compliments the local architectural vernacular whilst providing modern and practical family homes. Traditional materials will be used such as stock and reclaimed brick, plain clay roof and vertical tiling and timber weather boarding.



Examples of materials on previous Millwood developments



Plot 2 Indicative Colour Elevation





Visualisation 2 - View looking northeast from the site entrance towards Plots 5/6.



© ECE Architecture Limited. No alterations to the information herein, including the position of Planning Applications. The contractor shall hold all drawings or any other documents responsible to ensure compliance with Safety Regulations.

Client Name
 Brookworth Homes Ltd.

Drawing Title
 Visualisation 2

Drawn NK	Checked AK	Date 10.07.23
Issue No. 7340	Revision No. PL-18	Scale P1

Site No.
 Land off Allington Road, Newick,
 East Sussex, BN9 4NH

Scale
 NOT TO SCALE

APPROVAL

11, Church Lane, London, SE1 1 1AA
 Tel: +44 (0)20 7340 1111
 Email: info@ece-architecture.com
 Website: www.ece-architecture.com

ECE Architecture



Visualisation 1 - View looking north west towards Plots 2/3.



Visualisation Location Plan - Scale 1:2500

© ECE Architecture 2023. All dimensions are subject to change. The information provided is for information only and does not constitute an offer of any product or service. ECE Architecture is not responsible for any errors or omissions.

Client:
 Brookworth Homes Ltd.

27/06/23
 Land off Allington Road, Newick,
 East Sussex, BN9 4NH

Drawing Title:
 Visualisation 1

Scale:
 NOT TO SCALE

Drawn:	Checked:	Date:
NK	AK	10.07.23
TS40	PL-17	P1

APPROVAL

ECE Architecture

London
 100-102 City Road, London, EC2Y 5DB
 Tel: +44 (0)20 7460 1000
 Email: info@ece-architecture.com
 www.ece-architecture.com